

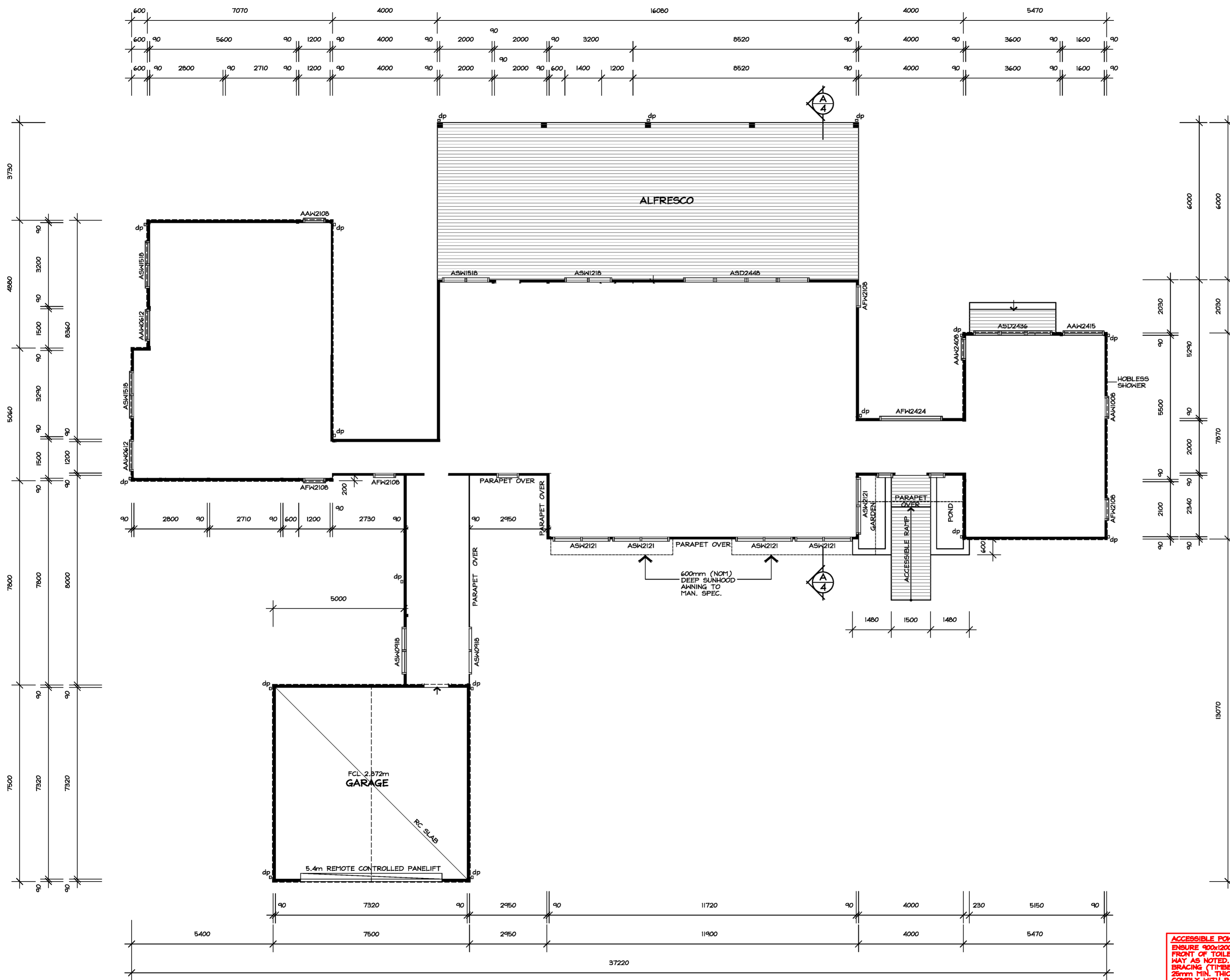
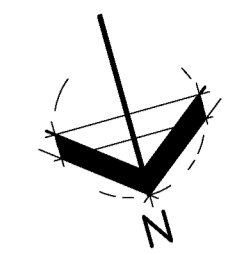
**PROPOSED SITE PLAN**

1:1000  
 LOT: 18  
 DP: 271477  
 MURRUMBATEMAN

**AKDESIGN**  
 ARCHITECTURAL DRAFTING

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<b>PROPOSED RESIDENCE, GARAGE AND SHEDS TO:</b>	
LOT: 18 DP: 271477	
MURRUMBATEMAN, NSW	
CLIENT: K & A GREENWOOD	
309 Isabel Drv Murrumbateman	
DWN:	A.KWONG
SCALE: 1:1000@A2	DATE: 12/3/24
DWG No.: 2413	SHEET: 1 OF 5



**GENERAL NOTES:**

- HYDRONIC HEATING TO CLIENTS DIRECTION AND MAN. SPECIFICATIONS.
- ALL WINDOWS AND DOORS TO BE AL. PC DOUBLE GLAZED TO CLIENTS SELECTION AND MAN. SPECIFICATIONS. ALL KEYED ALIKE

**ACCESSIBLE POWDER ROOM:**  
 ENSURE 900x1200 CLEARANCE IN FRONT OF TOILET. 420mm DOORWAY AS NOTED. PROVIDE WALL BRACING (TIMBER NOGGINGS WITH 25mm MIN. THICKNESS) ALL TO COMPLY WITH PART 6 OF LIVABLE HOUSING DESIGN STANDARD (AND FIG. 6.2A AND 6.2C)

WHERE MECHANICAL VENTILATION IS REQUIRED, IT MUST DISCHARGE DIRECTLY TO OUTDOOR AIR (VIA A DUCT OR SHAFT) AND BE INTERCONNECTED WITH THE ROOM'S LIGHT SWITCH, INCLUDING RUN-ON A TIMER THAT CONTINUES FOR 10 MINUTES AFTER THE LIGHT SWITCH IS TURNED OFF, IN ACCORDANCE WITH THE ASGB HOUSING PROVISIONS, PART 10.8.2 EXHAUST SYSTEMS.

**FLOOR PLAN - RESIDENCE**

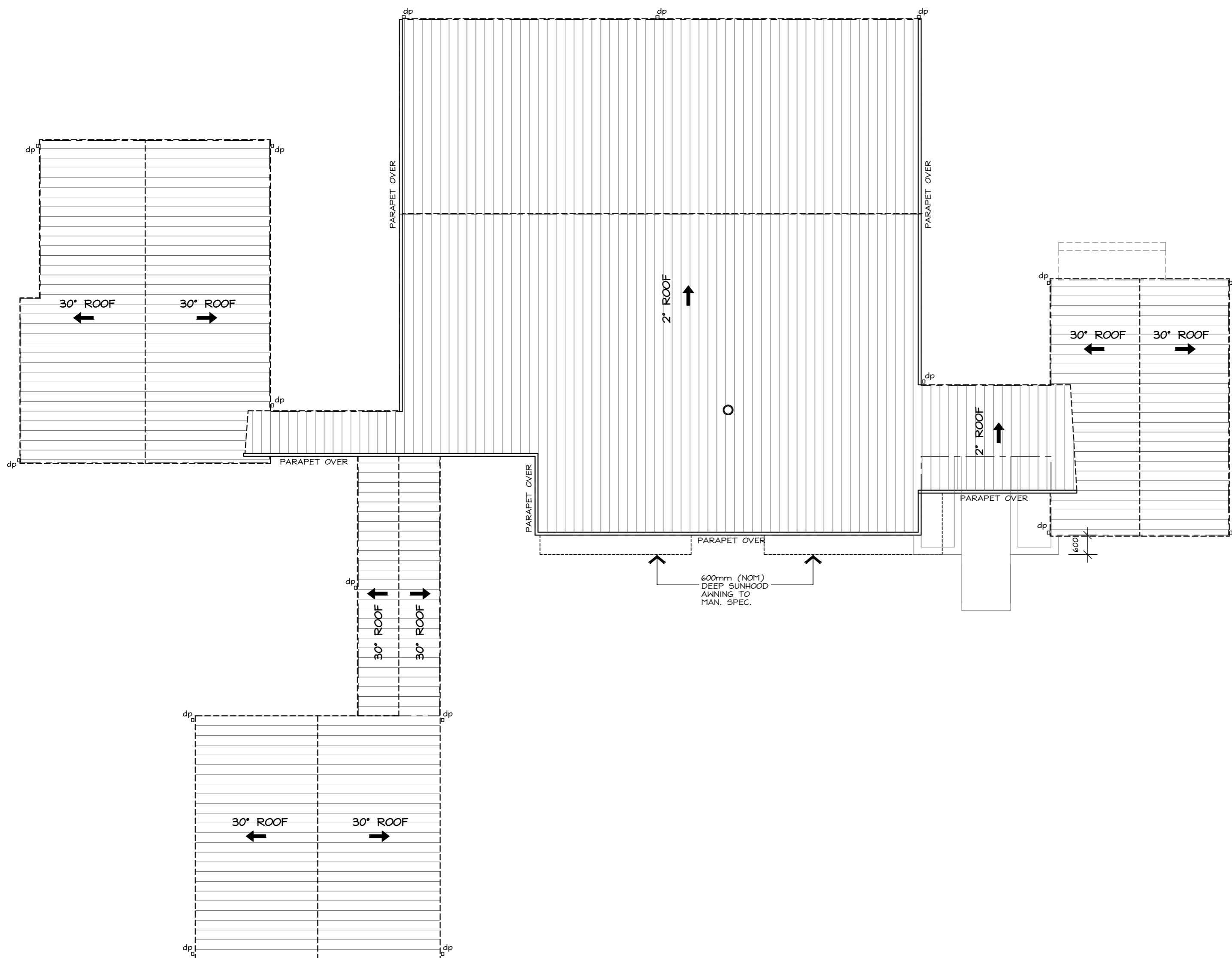
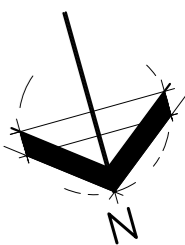
⊗ = SMOKE ALARM

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**GENERAL NOTES:** (WHERE APPLICABLE)

ALL LEVELS, SITE CUTS, GROUND LEVELS, FFL'S TO BE CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS (INCLUDING DRIVEWAY LEVELS)

ANY DISCREPANCIES TO BE DIRECTED TO BUILDER AND/OR DESIGNER IMMEDIATELY

CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE BUILDING CERTIFIER AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:

- A) N.S.W GOVERNMENT
- B) NATIONAL CONSTRUCTION CODE OF AUSTRALIA
- C) N.S.W ELECTRICITY AND WATER
- D) AS1684 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED.
- E) LIVABLE HOUSING DESIGN STANDARD

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. USE FIGURED DIMENSIONS ONLY AND DO NOT SCALE OFF THE DRAWING

SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS

MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE BCA, ALL OTHER RELEVANT CODES AND AUSTRALIAN STANDARDS

ALL WINDOWS/GLAZED DOORS TO BE SINGLE GLAZED ALUMINIUM IMPROVED FRAMES (UNLESS NOTED OTHERWISE)

LIGHTING TO COMPLY WITH 3.12.5.5 OF THE N.C.C

EXTERNAL WALLS TO BE METAL STUD FRAMING WITH COLORBOND CLADDING - INSTALLED TO MANUFACTURERS SPECIFICATIONS AS PER THE N.C.C

ALL OPENABLE WINDOWS AND SLIDING DOORS TO HAVE FLYSCREENS TO BE POWDERCOATED ALUMINIUM FRAMES TO MATCH WINDOWS. NOTE: METALLIC FLYSCREENS ARE REQUIRED IN BUSHFIRE PRONE AREAS

REFER TO STRUCTURAL ENGINEER'S ATTACHED DOCUMENTATION FOR ALL STRUCTURAL DETAILS

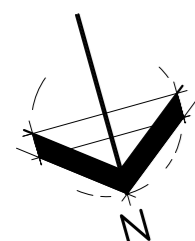
PROVIDE TERMITE PROTECTION TO CODE AND AS3660-2014 PARTS 1, 2 AND 3

ALL NEW STAIRS TO COMPLY WITH N.C.C

3.1.4 TERMITE RISK DAMAGE - NEW WORK WILL BE COMPLIANT WITH THE N.C.C.

3.5.4 TIMBER & COMPOSITE WALL CLADDING - COLORBOND CLADDING TO MAN. SPECIFICATIONS.

3.8.7 CONDENSATION MANAGEMENT - NEW WORK WILL BE COMPLIANT WITH THE N.C.C AND MAN. SPECIFICATIONS



**ROOF PLAN**

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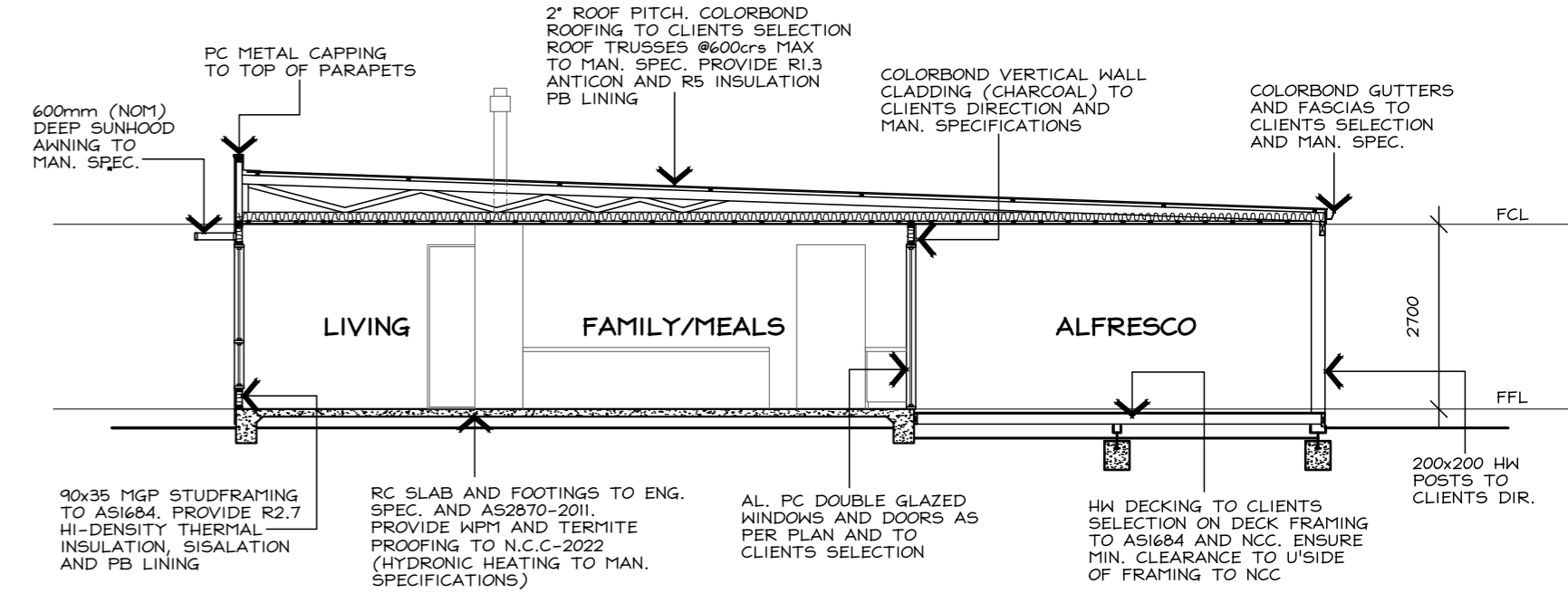
DWN: A.KWONG

SCALE: 1:100@A2 DATE: 12/3/24  
DWG No.: 2413 SHEET: 3 OF 5

**SECTION NOTES:**

ALL STRUCTURAL AND NON-STRUCTURAL TIMBER TO BE IN ACCORDANCE WITH THE TIMBER FRAMING CODE AS1684  
 ALL STRUCTURAL STEEL COLUMNS, POST, BEAMS ALL TO BE CERTIFIED AND DESIGNED BY STRUCTURAL ENGINEER.  
 RC SLAB AND FOOTINGS TO COMPLY WITH ENGINEER'S DETAILS AND AS2870-2011  
 PROVIDE CONTINUOUS DAMP-PROOF MEMBRANE UNDER SLAB TO N.C.C-2022  
 PROVIDE TERMITE PROTECTION UNDER SLAB TO MAN. SPEC. AND N.C.C-2022  
 PROVIDE 90x35 MGP OR 90x45 MGP STUDS AS REQUIRED TO AS1684 AND/OR TO MAN. SPECIFICATIONS.  
 BRACING AS PER N.C.C-2022 AND ENGINEER'S SPEC.  
 PLASTERBOARD AND FC LININGS TO INTERNAL WALLS AND CEILINGS AS REQUIRED  
 PRE-FABRICATED ROOF TRUSSES AS PER MAN. SPEC.  
 LINTELS AS PER TRUSS MANUFACTURERS CHARTS AND ENGINEER'S SPECIFICATIONS  
 ALL INSULATION AS PER ATTACHED BASIS

ALL EXTERNAL SHING DOORS AND INTERNAL ACCESS DOORS TO BE FULLY SEALED  
 WINDOW SPECIFICATIONS AS PER ATTACHED BASIS  
 ALL LOAD BEARING WALLS AND CONTROL JOINTS SPECIFIED TO ENGINEER'S DETAILS  
 FLASHING, KEEP HOLES AND DAMP PROOF COURSE TO COMPLY WITH N.C.C-2022 AND AS4773  
 ROOF AND EXTERNAL WALL MATERIALS AS NOTED ON ELEVATIONS/SECTION.  
 ALL EAVES AND GUTTERS TO BE COLORBOND QUAD GUTTERING, INSTALLED TO MANUFACTURER'S SPECIFICATIONS.  
 ALL ROOFING AND BATTEN SPACINGS TO BE INSTALLED TO COMPLY WITH N.C.C-2022  
 MECHANICAL VENTILATION DUCTED TO EXTERIOR TO COMPLY WITH N.C.C-2022  
 SHOWER SCREENS AND WET AREA GLAZING TOUGHENED GLASS AS PER N.C.C-2022  
 FLOW RATE OF MECHANICAL SYSTEMS TO COMPLY WITH N.C.C-2022



**SECTION A-A**

**WATERPROOFING NOTES:**

ENCLOSED AND UNENCLOSED (INCLUDING SHOWER OVER BATH) MUST CONSIDER THE FOLLOWING:  
 FLOOR OF THE SHOWER AREA MUST BE WATERPROOF - INCLUDING ANY HOB OR STEP DOWN.  
 WALLS TO BE WATERPROOF TO NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL AND WATERPROOF NOT LESS THAN 150mm ABOVE FLOOR SUBSTRATE; OR NOT LESS THAN 25mm ABOVE MAXIMUM RETAINED WATER LEVEL; AND  
 WALL JUNCTIONS AND JOINTS TO BE WATERPROOF NOT LESS THAN 40mm EITHER SIDE OF THE JUNCTION.  
 WALL/FLOOR JUNCTIONS TO BE WATERPROOF.  
 PENETRATIONS TO BE WATERPROOF - PROTECTION CAPS MUST BE REMOVED PRIOR TO WATERPROOFING  
 OUTSIDE SHOWER AREAS:  
 FLOOR CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORING MUST BE WATER RESISTANT.  
 TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER-BASED FLOORING MATERIALS MUST BE WATERPROOF.  
 WALL/FLOOR JUNCTIONS MUST BE WATERPROOF.  
 BATHROOM ENTRY TO BE WATERPROOF MIN 25mm ABOVE FINISHED FLOOR SURFACE.  
 THE DOORWAY WATERSTOP REQUIRES THE BASE TO BE SEALED TO FLOOR AND UPSTAND FLUSH WITH FINISHED FLOOR SURFACE  
 AREAS ADJACENT TO BATHS AND SPAS (VESSEL):  
 FLOOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET - MUST BE WATERPROOF.  
 TIMBER FLOOR INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER-BASED FLOORING MATERIALS - MUST BE WATERPROOF.  
 WALLS WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75mm OF A WALL. ALL EXPOSED SURFACES BELOW VESSEL LIP - MUST BE WATER RESISTANT.  
 WALL JUNCTIONS AND JOINTS TO BE WATERPROOF WHEN LOCATED WITHIN 150mm ABOVE A VESSEL FOR THE EXTENT OF THE VESSEL.  
 WALL/FLOOR JUNCTIONS TO BE WATERPROOF FOR THE EXTENT OF THE VESSEL.  
 PENETRATIONS TAP AND SPOUT PENETRATIONS TO BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES. PROTECTION CAPS MUST BE REMOVED PRIOR TO WATERPROOFING  
 INSERTED BATHS AND SPAS:  
 FLOOR WATERPROOF SHELF AREA, INCORPORATING WATERSTOP UNDER THE BATH LIP.  
 WALL TO BE WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH OR SPA; AND  
 NO REQUIREMENT UNDER BATH.  
 WALL JUNCTIONS AND JOINTS WITHIN 150mm ABOVE BATH OR SPA; AND NO REQUIREMENT UNDER BATH.  
 PENETRATIONS TAP AND SPOUT PENETRATIONS TO BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES. PROTECTION CAPS MUST BE REMOVED PRIOR TO WATERPROOFING - ALL TO N.C.C

•WATERPROOFING DETAILS/CONSTRUCTION NOTES TO COMPLY WITH EITHER AS3740:2021 OR THE 2022 ABCB HOUSING PROVISIONS, PART 10.2

**MATERIALS - WATERPROOF:**  
 THE FOLLOWING MATERIALS USED IN WATERPROOFING SYSTEMS ARE DEEMED TO BE WATERPROOF:  
 STAINLESS STEEL  
 FLEXIBLE WATERPROOF SHEET FLOORING MATERIAL WITH WATERPROOF JOINTS  
 MEMBRANES COMPLYING WITH AS/NZS4858  
 WATERPROOF SEALANT

**MATERIALS - WATER RESISTANT SUBSTRATES:**  
 THE FOLLOWING MATERIALS ARE DEEMED TO BE WATER RESISTANT:  
 FOR WALLS:  
 CONCRETE COMPLYING WITH AS3600, TREATED TO RESIST MOISTURE MOVEMENT.  
 CEMENT RENDER, TREATED TO RESIST MOISTURE MOVEMENT.  
 COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2  
 WATER RESISTANT PLASTERBOARD SHEETING.  
 MASONRY IN ACCORDANCE WITH AS3700, TREATED TO RESISTANT MOISTURE MOVEMENT.

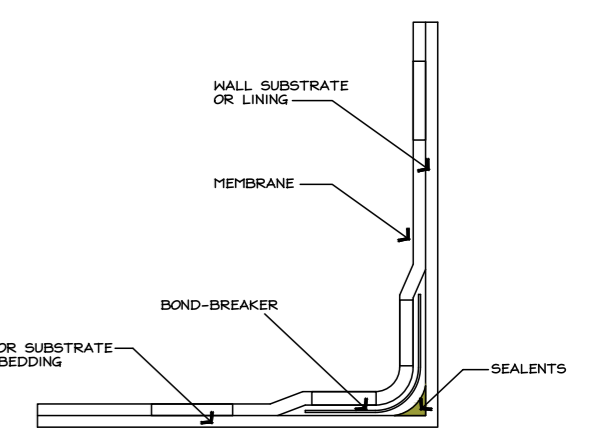
**FOR FLOORS:**  
 CONCRETE COMPLYING WITH AS3600.  
 CONCRETE SLABS COMPLYING WITH AS2870.  
 COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2 AND SUPPORTED ON A STRUCTURAL FLOOR.

**MATERIALS - WATER RESISTANT SURFACE MATERIALS:**  
 THE FOLLOWING SURFACE MATERIALS ARE DEEMED TO BE WATER RESISTANT:  
 FOR WALLS:  
 THERMOSETTING LAMINATE  
 PRE-DECORATED COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS2908.2  
 TILES WHEN USED IN CONJUNCTIONS WITH A COMPLIANT SUBSTRATE SYSTEMS.  
 WATER RESISTANT FLEXIBLE SHEET WALL MATERIAL WITH SEALED JOINTS WHEN USED IN CONJUNCTIONS WITH A COMPLIANT SUBSTRATE SYSTEM.  
 SANITARY GRADE ACRYLIC LININGS.

**RECOMMENDATIONS:**  
 IT IS RECOMMENDED BUILDING CERTIFIERS ENSURE ADEQUATE DOCUMENTATION IS SUBMITTED WITH THE BUILDING APPROVAL AS REQUIRED UNDER BUILDING ACT 2004 SECTION 28A AND SECTION 85 - MINIMUM DOCUMENTATION REQUIREMENTS FOR BUILDING LODGEMENT CLASS 1 & 10 - RESIDENTIAL CONSTRUCTION.  
 BUILDERS SHOULD SUPERVISE AND INSPECT WATERPROOFING TO ENSURE COMPLIANCE PRIOR TO PROCEEDING TO TILING AND FITOUT.  
 ENFORCEMENT ACTION:  
 WHERE IDENTIFIED, INSUFFICIENT OR INCORRECT WATERPROOFING OF WET AREAS AND LACK OF DOCUMENTATION MAY RESULT IN THE ISSUANCE OF A STOP WORK NOTICE IN ACCORDANCE WITH SECTION 85 OF THE BUILDING ACT 2004, AND FORMAL LICENSING ACTION INCLUDING ISSUING OF DEFERIT POINTS IN ACCORDANCE WITH SECTION 85 OF THE CONSTRUCTION OCCUPATIONS (LICENSING) ACT 2004.

**INSTALLATION:**  
 INSTALLATION OF THE WATERPROOFING TO THE INTERNAL WET AREAS AND EXTERNAL AREAS TO BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARD 3740-2021 AND THE N.C.C-2022 - PART H4 (HEALTH AND AMENITY) THE PRODUCT USED COMPLIED WITH AS/NZS 4654.1:2012.  
 THE INSTALLATION IS IN ACCORDANCE WITH AS/NZS 4654.2:2012

WATERPROOFING PRODUCT OR COMPOUND USED:.....  
 FILLET AND BOND BREAKER USED:.....  
 NUMBER OF COATS APPLIED:.....



**TYPICAL BOND BREAKER CLASS II**

**WEST ELEVATION**

**EAST ELEVATION**

**NORTH (FRONT) ELEVATION**

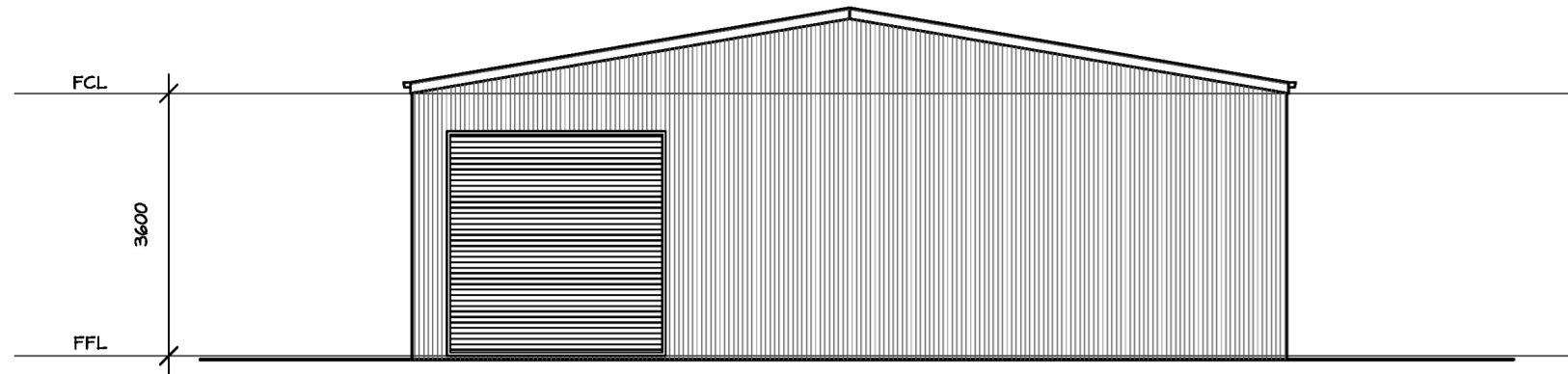
**SOUTH ELEVATION**

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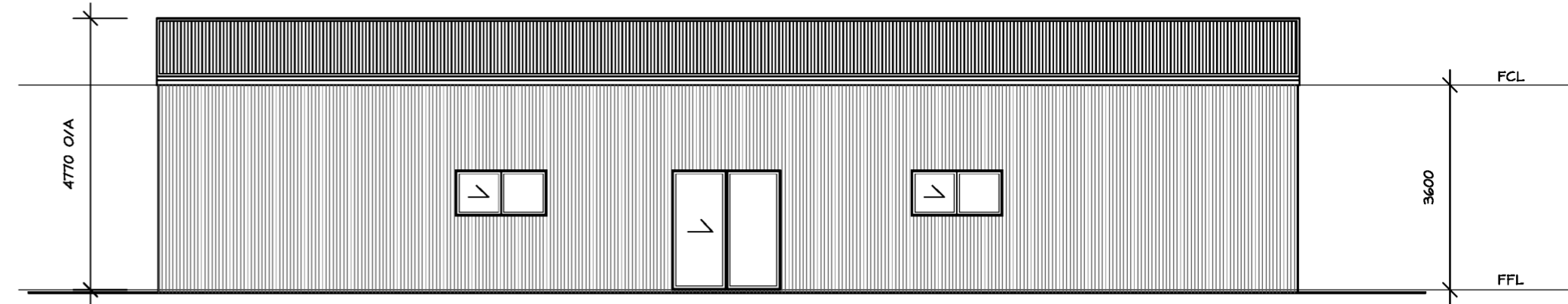
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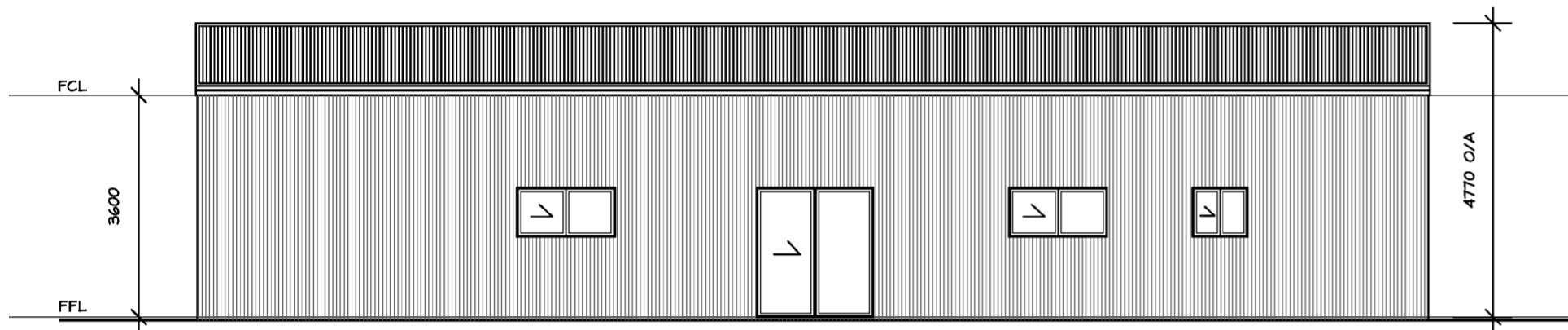
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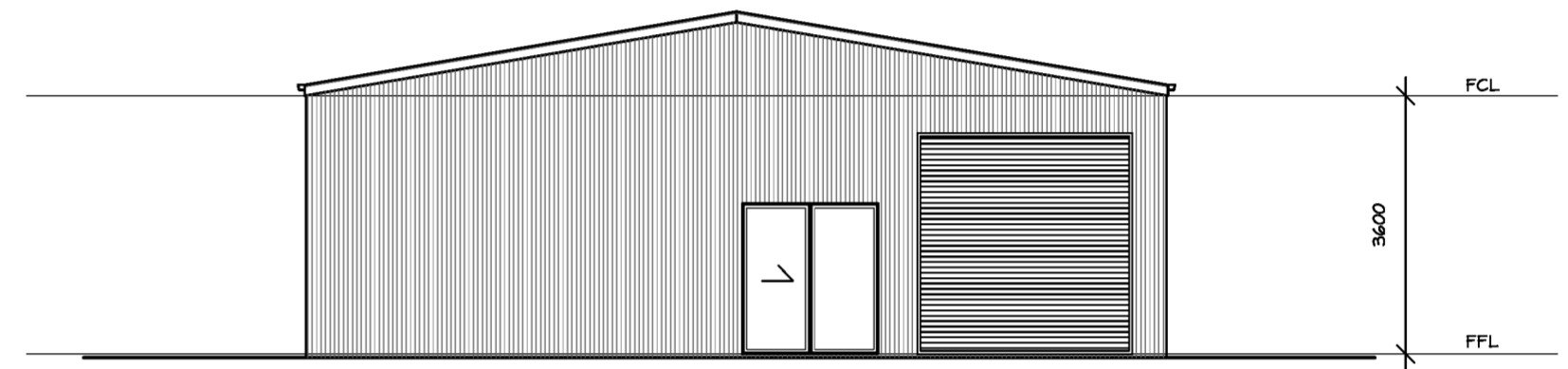
SOUTH-EAST ELEVATION



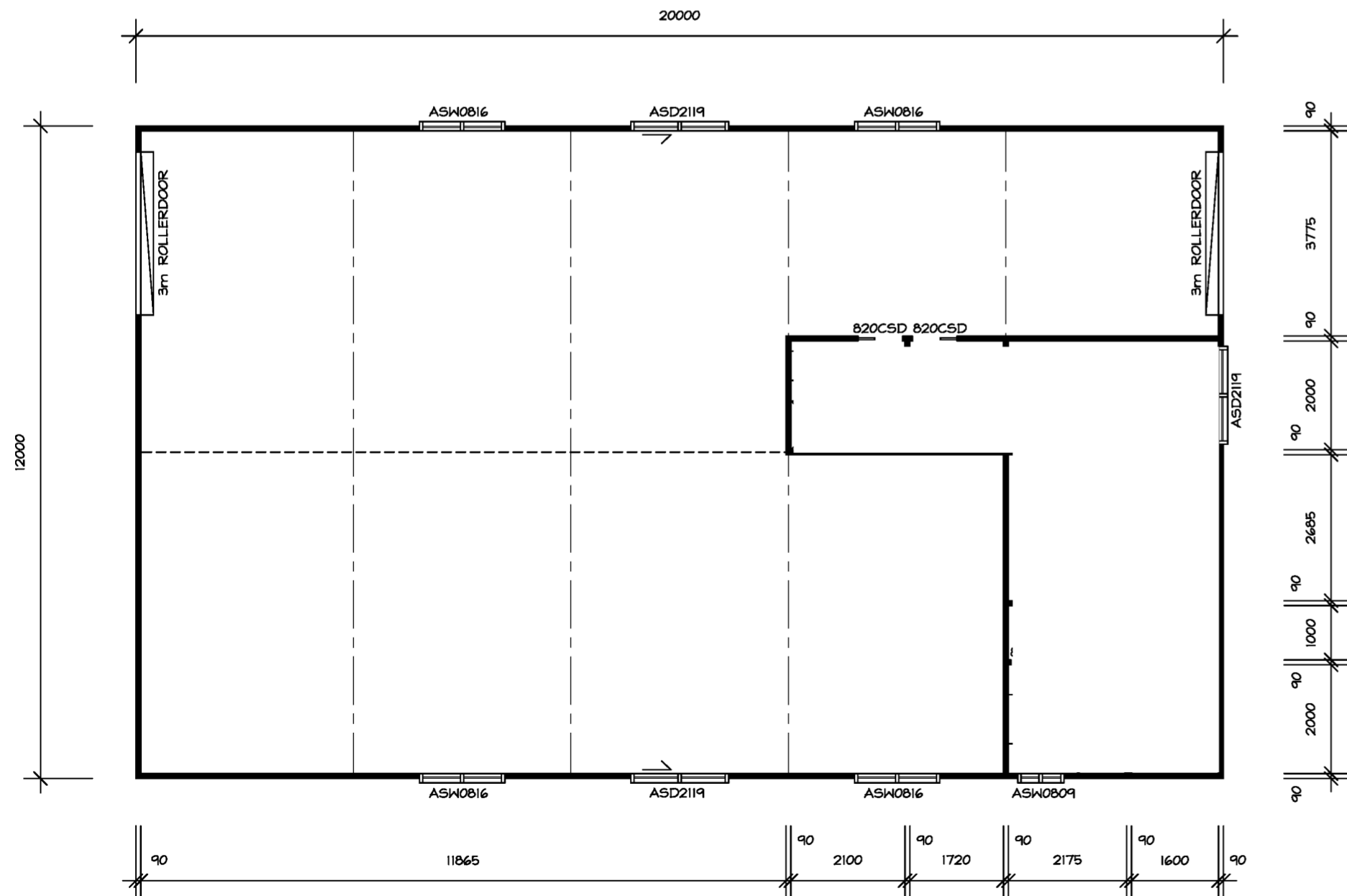
SOUTH-WEST ELEVATION



NORTH-EAST ELEVATION



NORTH-WEST ELEVATION



FLOOR PLAN - SHED 1 (\*FAIR DINKUM\* SHED TO MAN. SPEC.)

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